

## New Home Paperwork Requirements

WI Uniform Building Application (available online) (ESLA)

Application for Zoning-\$250.00 (1 copy)

Residential Occupancy Bond- \$2000.00

Road, Ditch, Culvert Bond- \$2500.00

Culvert/911 Sign- \$190.00

Sanitary Permit (from Waukesha County) (1 copy)

Soil Borings (1 copy)

Survey (4 copies)

Grading Plan (2 copies)

House Plans (4 copies)

Form A if applicable (1 copy)

**Check to see if Public Site Fee is required**

\*\*\*\*\* **ALL ITEMS SHOULD BE SEPARATE CHECKS** \*\*\*\*\*

Wisconsin Division of Safety and Buildings  Wisconsin Stats. 101.63, 101.73	<b>WISCONSIN UNIFORM BUILDING PERMIT APPLICATION</b>  <b>Instructions on back of second ply.</b> The information you provide may be used by other government agency programs [(Privacy Law, s. 15.04 (1)(m))]	Application No. _____  Parcel No. _____
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**PERMIT REQUESTED**     Constr.     HVAC     Electric     Plumbing     Erosion Control     Other:

Owner's Name	Mailing Address	Tel.
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg	Lic/Cert#	Tel.
	Mailing Address	FAX#
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg	Lic/Cert#	Tel.
	Mailing Address	FAX#
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg	Lic/Cert#	Tel.
	Mailing Address	FAX#
Contractor's Name: <input type="checkbox"/> Con <input type="checkbox"/> Elec <input type="checkbox"/> HVAC <input type="checkbox"/> Plbg	Lic/Cert#	Tel.
	Mailing Address	FAX#

**PROJECT LOCATION**    Lot area \_\_\_\_\_ Sq.ft.     One acre or more of soil will be disturbed    \_\_\_\_\_ 1/4, \_\_\_\_\_ 1/4, of Section \_\_\_\_\_, T \_\_\_\_\_, N, R \_\_\_\_\_ E (or) W

Building Address \_\_\_\_\_    Subdivision Name \_\_\_\_\_    Lot No. \_\_\_\_\_    Block No. \_\_\_\_\_

Zoning District(s) \_\_\_\_\_    Zoning Permit No. \_\_\_\_\_    Setbacks:    Front \_\_\_\_\_ ft.    Rear \_\_\_\_\_ ft.    Left \_\_\_\_\_ ft.    Right \_\_\_\_\_ ft.

<b>1. PROJECT</b>	<b>3. OCCUPANCY</b>	<b>6. ELECTRIC</b>	<b>9. HVAC EQUIP.</b>	<b>12. ENERGY SOURCE</b>																								
<input type="checkbox"/> New <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Raze <input type="checkbox"/> Addition <input type="checkbox"/> Move <input type="checkbox"/> Other:	<input type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Garage <input type="checkbox"/> Other:	Entrance Panel Amps: _____ <input type="checkbox"/> Underground <input type="checkbox"/> Overhead <b>7. WALLS</b>	<input type="checkbox"/> Furnace <input type="checkbox"/> Radiant Basebd <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central AC <input type="checkbox"/> Fireplace <input type="checkbox"/> Other:	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;">Fuel</td> <td style="width:10%;">Nat Gas</td> <td style="width:10%;">LP</td> <td style="width:10%;">Oil</td> <td style="width:10%;">Elec</td> <td style="width:10%;">Solid</td> <td style="width:10%;">Sola</td> </tr> <tr> <td>Space Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>Water Htg</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table> <input type="checkbox"/> Dwelling unit has 3 kilowatt or more in electric space heating equipment capacity.	Fuel	Nat Gas	LP	Oil	Elec	Solid	Sola	Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Fuel	Nat Gas	LP	Oil	Elec	Solid	Sola																						
Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																						
Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																						
<b>2. AREA INVOLVED (sq ft)</b>	<b>4. CONST. TYPE</b>	<b>8. USE</b>	<b>10. SEWER</b>	<b>13. HEAT LOSS</b>																								
<table style="width:100%; border-collapse: collapse;"> <tr> <th style="width:10%;"></th> <th style="width:15%;">Unit 1</th> <th style="width:15%;">Unit 2</th> <th style="width:15%;">Total</th> </tr> <tr> <td>Unfin. Bsmt</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Living Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Garage</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Deck</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Totals</td> <td></td> <td></td> <td></td> </tr> </table>		Unit 1	Unit 2	Total	Unfin. Bsmt				Living Area				Garage				Deck				Totals				<input type="checkbox"/> Wood Frame <input type="checkbox"/> Steel <input type="checkbox"/> ICF <input type="checkbox"/> Timber/Pole <input type="checkbox"/> Other:	<input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other:	<input type="checkbox"/> Municipal <input type="checkbox"/> Sanitary Permit# _____	_____ BTU/HR Total Calculated Envelope and Infiltration Losses ("Maximum Allowable Heating Equipment Output" on Energy Worksheet; "Total Building Heating Load" on Rescheck report)
	Unit 1	Unit 2	Total																									
Unfin. Bsmt																												
Living Area																												
Garage																												
Deck																												
Totals																												
	<b>5. STORIES</b>	<b>11. WATER</b>	<b>14. EST. BUILDING COST w/o LAND</b>																									
	<input type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other: <input type="checkbox"/> Plus Basement	<input type="checkbox"/> Municipal <input type="checkbox"/> On-Site Well	\$ _____																									

I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Financial Responsibility Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply.

**APPLICANT'S SIGNATURE** \_\_\_\_\_    **DATE SIGNED** \_\_\_\_\_

**APPROVAL CONDITIONS**    This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.     See attached for conditions of approval.

**ISSUING JURISDICTION**     Town of     Village of     City of     County of     State→    State-Contracted Inspection Agency#: \_\_\_\_\_    Municipality Number of Dwelling Location \_\_\_\_\_

<b>FEES:</b>	<b>PERMIT(S) ISSUED</b>	<b>WIS PERMIT SEAL #</b>	<b>PERMIT ISSUED BY:</b>
Plan Review    \$ _____ Inspection    \$ _____ Wis. Permit Seal    \$ _____ Other    \$ _____	<input type="checkbox"/> Construction <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Erosion Control		Name _____  Date _____    Tel. _____

## Zoning Permit

Zoning Permits are required for most building projects in the Town of Genesee. To discuss the application process with the Town Planner contact-

Genesee Planner

Office hours Monday and Wednesday 9 a.m. to 12:00 p.m.

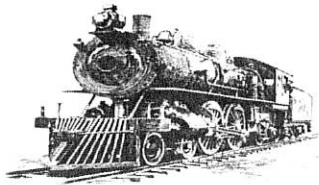
Phone- (262)968-3656

### THE FOLLOWING TO BE SUBMITTED WITH THE ZONING APPLICATION

- Zoning Code Permit Application
- Three (3) copies of an accurate site plan or plat of survey(preferred), drawn to scale showing the following
  1. Location and dimensions of lot
  2. Location and dimensions of all existing/proposed buildings on lot and those within 50 feet of lot
  3. Location and centerline of all abutting streets
  4. High water line of any water body which lot abuts
  5. Location of existing/proposed wells and septic systems on lot and within 50' of lot
  6. Floor elevation of proposed new buildings
  7. Location of percolation tests and soil borings for new buildings
- Soil tests (New House Only)
- Three (3) sets of building plans
- A grading plan, for all new homes and maybe required for additions
- Approval of the septic system by the Environmental Health Division is required prior to issuance of the Zoning Permit. Preliminary Site Evaluation forms are available at the Town Hall or go to Waukesha County Environmental Health Division link (Check payable to WAUKESHA COUNTY)
- Applicable fee per fee schedule

Construction must start within 6 months and be completed within 18 months of the date of issuance of Zoning Permit.

**Zoning Permit paperwork must be submitted by the last Wednesday of the month prior to be considered for current month Plan Commission Meeting**



Town of Genesee  
 543 W31391 Highway 83  
 P.O. Box 242  
 Genesee Depot, WI 53127  
 Tel: (262) 968-3656 Fax: (262) 968-3809

**APPLICATION FOR A ZONING PERMIT**

TAX KEY NO.: GNT

ZONING DISTRICT: \_\_\_\_\_

**APPLICANT NAME, MAILING ADDRESS & DATE:**

**PROPERTY OWNER NAME, MAILING ADDRESS & DATE:**

\_\_\_\_\_  
*Printed Name*

\_\_\_\_\_  
*Mailing Address*      *City*      *State*      *Zip*

\_\_\_\_\_  
*Phone*      *Fax*      *Email*

\_\_\_\_\_  
*Printed Name*

\_\_\_\_\_  
*Mailing Address*      *City*      *State*      *Zip*

\_\_\_\_\_  
*Phone*      *Fax*      *Email*

**PROPERTY ADDRESS:** \_\_\_\_\_

**LEGAL DESCRIPTION:** \_\_\_\_\_

**DESCRIBE IN DETAIL THE PROPOSED WORK TO BE COMPLETED:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**EXISTING STRUCTURE(S)**

**Principal Structure:**

Width \_\_\_\_\_ Depth \_\_\_\_\_ Height \_\_\_\_\_  
 1 Story \_\_\_\_\_ 2 Story \_\_\_\_\_ Split Level \_\_\_\_\_  
 No. of Bedrooms \_\_\_\_\_ No. of Bathrooms \_\_\_\_\_  
 Floor Area: 1<sup>st</sup> Floor \_\_\_\_\_ 2<sup>nd</sup> Floor \_\_\_\_\_  
 Garage \_\_\_\_\_ Basement \_\_\_\_\_

**Accessory Structure(s):**

List type of structure(s) and size: \_\_\_\_\_

\_\_\_\_\_  
 Total sq. ft. s (don't include basement) \_\_\_\_\_

**PROPOSED STRUCTURE(S)**

**Principal Structure:**

Width \_\_\_\_\_ Depth \_\_\_\_\_ Height \_\_\_\_\_  
 1 Story \_\_\_\_\_ 2 Story \_\_\_\_\_ Split Level \_\_\_\_\_  
 No. of Bedrooms \_\_\_\_\_ No. of Bathrooms \_\_\_\_\_  
 Floor Area: 1<sup>st</sup> Floor \_\_\_\_\_ 2<sup>nd</sup> Floor \_\_\_\_\_  
 Garage \_\_\_\_\_ Basement \_\_\_\_\_

**Accessory Structure(s):**

List type of structure(s) and size: \_\_\_\_\_

\_\_\_\_\_  
 Total sq. ft. s (don't include basement) \_\_\_\_\_

Size of Lot: Average Width \_\_\_\_\_ Average Depth \_\_\_\_\_ Total Square Footage \_\_\_\_\_

**Three (3) COPIES OF AN ACCURATE SITE PLAN OR PLAT OF SURVEY (preferred), DRAWN TO SCALE, MUST BE SUBMITTED WITH THIS APPLICATION.** The map should show (1) location and dimensions of lot, (2) location and dimensions of all existing/proposed buildings on lot and those within 50 feet of lot, (3) location and centerline of all abutting streets, (4) high water line of any water body which lot abuts, (5) location of existing/proposed wells and septic systems on lot and within 50' of lot, (6) floor elevation of proposed new buildings, (7) location of percolation tests and soil borings for new buildings. **SOIL TESTS, TWO SETS OF BUILDING PLANS AND A GRADING PLAN MAY ALSO BE REQUIRED.** APPROVAL OF THE SEPTIC SYSTEM BY THE ENVIRONMENTAL HEALTH DIVISION IS REQUIRED PRIOR TO ISSUANCE OF THE ZONING PERMIT. AN INCOMPLETE APPLICATION FORM OR MISSING INFORMATION WILL CAUSE DELAY IN THE ISSUANCE OF THE ZONING PERMIT, AND THE APPLICATION MAY BE RETURNED FOR ADDITIONAL INFORMATION. CONSTRUCTION MUST START WITHIN 6 MONTHS AND BE COMPLETED WITHIN 18 MONTHS OF THE DATE OF ISSUANCE OF THE ZONING PERMIT.

Both of the undersigned state that the foregoing information is true and accurate to the best of his/her knowledge; it is hereby agreed that for and in consideration of the issuance of a zoning permit that the foregoing work will be carried out as defined in this application; that all applicable ordinances or codes of the state, county, and town will be complied with in carrying out the proposed work stated in the application; and that work will not commence before a building permit has been obtained from the town building inspector. If any changes or deviations are made from the original application, a new permit is required. Failure to comply with the permit as issued will result in the revocation of the permit or other penalties.

Signature of Owner \_\_\_\_\_ Date \_\_\_\_\_

Signature of Agent \_\_\_\_\_ Date \_\_\_\_\_

Application (approved) (denied) by Zoning Administrator \_\_\_\_\_ Date \_\_\_\_\_

Conditions for approval or reasons for denial \_\_\_\_\_

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**Town Use Only**

Fee Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_ PSE Approved \_\_\_\_\_ BOA No. \_\_\_\_\_ PO No. \_\_\_\_\_

ZP No. \_\_\_\_\_ CU No \_\_\_\_\_ File Copy \_\_\_\_\_ BI Copy \_\_\_\_\_ Assessor Copy \_\_\_\_\_ Owner Copy \_\_\_\_\_ Agent Copy \_\_\_\_\_

## BUILDING PERMITS

Building permits are required for most improvement projects to your property such as new residence, remodels, additions, pole barns, decks and pools. Please contact the Town Building Inspector prior to commencing **any** construction project to determine what (if any) permits are needed or required.

Building Inspector: Paul Launer  
In office hours: Monday and Wednesday 9:30 - 10:30 am, Thursday by appointment  
Phone hours: Monday – Friday 7 a.m. to 4 p.m. 262-825-8820

Zoning Permits are required for ALL building permits

- Zoning Permit – click for application See Zoning Permit information

The following items may be required for building permits –

- One (1) accurate copy of site plan or plat of survey (preferred)
- Ditch Permit / House number application – click for application
- One (1) complete set of plans
- One (1) copy of the sanitary permit
- One (1) heat loss calculations for new homes and additions
- One (1) Erosion Control Plan – 1 and 2 family homes, may be required for others permits, as directed by the Building Inspector
- The following applications may be necessary –
  - General Building Application - Click for form
  - Plumbing Application – Click for form
  - Electrical Application – Click for Form
  - HVAC Application – Click for form
  - Wisconsin Uniform Building Permit application form – new homes only – Click for form
- Contractors name, license numbers, address and phone number are required on the applications
- Preliminary Site Evaluation from Waukesha Co. Environmental Health, (Click for Waukesha County Parks and Land Use link for form) Prior to permit issuance
- Commercial permit applications may need additional information provided – contact Building Inspector for clarification

TOWN OF GENESEE  
S43W31391 HIGHWAY 83; PO Box 242  
GENESEE DEPOT, WI 53127  
262-968-3656

DRIVEWAY REQUEST and/or HOUSE NUMBER SIGN PERMIT APPLICATION

All new residents are required to complete a driveway application unless on a county or state highway. By Town Ordinance, all parcels with improvement require a house number sign.

Application Fee Culvert - \$ 125.00 House number sign fee - \$ 65.00 (includes sign, post, install)

**General Information**

Owner \_\_\_\_\_ Current Address \_\_\_\_\_

City \_\_\_\_\_ State/Zip \_\_\_\_\_ Phone \_\_\_\_\_

Lot# \_\_\_\_\_ Subdivision \_\_\_\_\_

Tax Key # \_\_\_\_\_ Address of installation \_\_\_\_\_

Culvert Size: Width/diameter \_\_\_\_\_ Length 22' to 30' plus aprons

Amount paid \$ \_\_\_\_\_ Cash \_\_\_\_\_ Check No. \_\_\_\_\_ Check from \_\_\_\_\_

**Culvert information -**

**Culvert must be installed before a building permit will be issued; culvert must be inspected as it's being installed. For culvert inspection call Public Works at 262-933-3810**  
THIS PERMIT IS SUBJECT TO THE CONDITION THAT THE WORK SHALL BE CONSTRUCTED SUBJECT TO ALL RULES AND REGULATIONS AS MAY BE PRESCRIBED BY THE TOWN OF GENESEE. ALL WORK MUST BE PERFORMED AND COMPLETED TO THE TOWN'S SATISFACTION.

\_\_\_\_\_ Date \_\_\_\_\_  
Owner/Installer

**CULVERT AT THE ABOVE LOCATION INSTALLED TO PROPERTY SPECIFICATIONS**

\_\_\_\_\_ Date \_\_\_\_\_  
Public Works Superintendent (1 copy office, 1 copy building inspector)

**House Number Information**

All address signs will be installed by the Town. Please note there will be a \$65.00 fee to replace a sign. The fee will be paid prior to installation.

.....  
Town Use -  
Sign ordered on \_\_\_\_\_ Received on \_\_\_\_\_ Installed on \_\_\_\_\_

Added to address book \_\_\_\_\_ Property address to County \_\_\_\_\_ Flyer/garbage \_\_\_\_\_  
WisVote \_\_\_\_\_ Mailing address to county after receive occupancy \_\_\_\_\_

## Chapter 500. Streets and Sidewalks

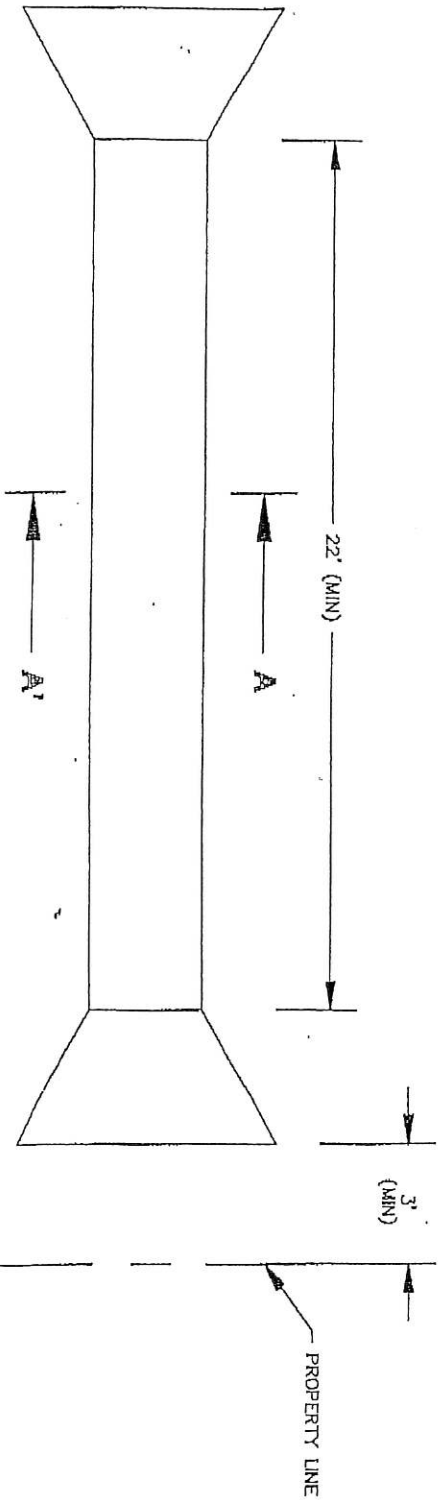
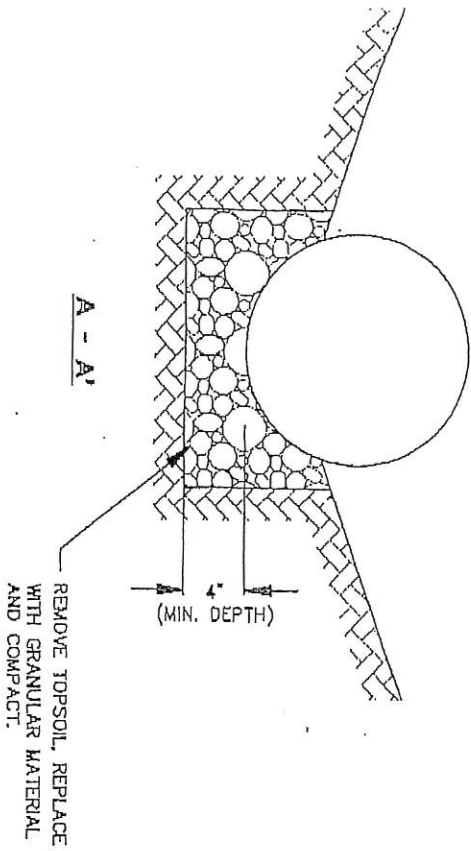
### Article IV. Use of Rights-of-Way; Culverts, Driveways and Mailboxes

#### § 500-20. Culvert regulations.

- A. Compliance required.
- (1) Prohibition. No person shall install a culvert, or travel on a Town right-of-way where a culvert is installed, unless the culvert fully complies with the regulations of this article.
  - (2) Culvert required. A culvert permit shall be obtained prior to a building permit being issued. The culvert must be properly installed prior to a footing inspection being completed. The installation of all culverts in the Town of Genesee shall be done by the property owner or its agent or designee.
  - (3) Permit required. No person, firm or corporation shall make any excavation or fill or make any alteration in any highway right-of-way or in any manner disturb any highway right-of-way or install or have installed or caused to be installed any culvert which is within or will allow access or easement to property in the Town of Genesee without first obtaining a culvert sizing permit.
  - (4) Purpose. The intent of this section is to assure drainage ditch preservation and to assure adequate surface water and stormwater drainage.
- B. Definition. Culverts are those structures which function to convey surface water through an embankment or under a roadway or under a driveway.
- C. Design specifications.
- (1) Public Works Superintendent's determination.
    - (a) The location and grade of culverts shall be determined by the Public Works Superintendent, consistent with the criteria stated in this article.
    - (b) The size and specification of culverts shall be determined by the Public Works Superintendent, consistent with the criteria stated in this article.
    - (c) The inspection of culverts, after installation, shall be made by the Public Works Superintendent, consistent with the criteria stated in this article.
  - (2) Special design criteria.
    - (a) Apron ends shall be provided on cross-road culverts and driveway culverts, unless approved by the Town Public Works Superintendent.
    - (b) All driveway culverts shall be at least 15 inches in diameter, and no driveway culvert shall be less than 22 feet plus end sections or more than 30 feet plus end sections in length at the outer street edge unless special permission is obtained from the Town Board.
  - (3) Standard material and construction specifications. The applicable portions of the most current edition of the State of Wisconsin, Department of Transportation, Standard Specifications for Road and Bridge



TOWN OF GENESEE  
STANDARD DRIVEWAY CULVERT INSTALLATION



PLAN VIEW

- NOTES:
1. INVERT OF CULVERT TO MATCH DITCH FLOW LINE UNLESS OTHERWISE DIRECTED BY TOWN.
  2. END SECTIONS REQUIRED ON ALL CULVERTS
  3. CULVERT DIAMETER TO BE SPECIFIED BY TOWN.

### Residential Occupancy Cash Bond - \$2,000

Tax Key No. \_\_\_\_\_ Date \_\_\_\_\_

Site/Property Address \_\_\_\_\_

Legal Description \_\_\_\_\_

Property Owner's Name \_\_\_\_\_

Owner's current Address \_\_\_\_\_ City \_\_\_\_\_ State/Zip \_\_\_\_\_

Phone \_\_\_\_\_ Mobile \_\_\_\_\_ Fax \_\_\_\_\_ E-mail \_\_\_\_\_

Builder's Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

E-mail Address \_\_\_\_\_

**Forfeiture of financial guarantee.**

The financial guarantee required by article 319-4 of the Town of Genesee Code of Ordinances shall be forfeited to the Town of Genesee upon motion duly adopted by the Town Board, upon the Town of Genesee Building Inspector finding any of the following conditions to exist on the property at the time that the work is required to be completed:

1. There are outstanding fees, costs, or assessments due and owing to the Town of Genesee.
2. A building permit was required for new construction and the building was occupied prior to the issuance of an occupancy permit.
3. The construction on the property has resulted in the ponding of water or a drainage condition which adversely affects neighboring lands or has given rise to related stormwater drainage concerns which have not been adequately addressed.

**Return of financial guarantee.**

Any cash bond provided to the Town pursuant to the above, less any amount forfeited, shall be returned to the person, corporation or organization that provided the cash bond upon a determination being made by the Town Building Inspector that all of the issues identified above have been properly addressed and an occupancy permit, if applicable, has been issued.

**Note: It is the Applicants responsibility to schedule an inspection when ready.**

Please print clearly. Illegible and incomplete forms will not be accepted. Please remit payment with this application.

Applicant - Signature \_\_\_\_\_ Print \_\_\_\_\_ Date \_\_\_\_\_

**Violations discovered during a requested Occupancy Permit inspection may not disqualify the unit from occupancy consideration but will result in a Notice of Violation being issued to the owner and further follow-up to ensure that the deficiencies have been corrected.**

**Prior to application submission all utilities shall be on and in working order, all required smoke detection shall be installed and in working order. The inspection will be held to the standards of the Uniform Dwelling Code as adopted by the Town of Genesee.**

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Town Use Only-

Deposit Paid \$ \_\_\_\_\_ Cash \_\_\_\_\_ Check No. \_\_\_\_\_ From \_\_\_\_\_ Date: \_\_\_\_\_

Amount Deposit Returned \$ \_\_\_\_\_ Check No. \_\_\_\_\_ Date \_\_\_\_\_

Refund returned to \_\_\_\_\_

Town of Genesee  
543 W31391 HWY 83  
PO Box 242  
Genesee Depot, WI 53127  
(262) 968-3656 PH. (262) 968-3809 FAX

## Road, Ditch, Culvert & Driveway Cash Bond - \$2,500

Tax Key No. \_\_\_\_\_ Date \_\_\_\_\_

Site/Property Address \_\_\_\_\_

Legal Description \_\_\_\_\_

Property Owner's Name \_\_\_\_\_

Owner's Current Address \_\_\_\_\_ City \_\_\_\_\_

State \_\_\_\_\_ Zip \_\_\_\_\_ E-mail Address \_\_\_\_\_

Phone \_\_\_\_\_ Mobile \_\_\_\_\_ Fax \_\_\_\_\_

### Forfeiture of financial guarantee.

The financial guarantee required by article 319-4 of the Town of Genesee Code of Ordinances shall be forfeited to the Town of Genesee upon motion duly adopted by the Town Board, upon the Town of Genesee Building Inspector finding any of the following conditions to exist on the property at the time that the work is required to be completed:

1. There are outstanding fees, costs, or assessments due and owing to the Town of Genesee.
2. Damage has been done to Town roads or ditches during the course of construction and said damage has not been repaired in a satisfactory manner.
3. The construction included work for which a culvert should have been installed in accordance with Town of Genesee ordinances but the culvert was not installed, or was installed but not in compliance with the requirements of the ordinance.
4. The construction has disturbed the previously existing topography and the disturbed areas have not been stabilized or do not have established vegetation or landscaping.

### Return of financial guarantee.

Any cash bond provided to the Town pursuant to the above, less any amount forfeited, shall be returned to the person, corporation or organization that provided the cash bond upon a determination being made by the Town Public Works Superintendent that all of the issues identified above have been properly addressed.

Please print clearly. Illegible and incomplete forms will not be accepted. Please remit payment with this application.

Applicant Name: \_\_\_\_\_

Signature

Print

Date: \_\_\_\_\_

-----  
Town Use Only –

Deposit Paid \$ \_\_\_\_\_ Cash \_\_\_\_\_ Check No. \_\_\_\_\_ Check From \_\_\_\_\_

Date Deposit Received \_\_\_\_\_

Amount of Deposit Returned \$ \_\_\_\_\_ Check No. \_\_\_\_\_ Date \_\_\_\_\_

Refund Returned To \_\_\_\_\_

2022 Road, ditch, driveway and culvert